



Your Inspection Report

5008 54 Avenue
Eckville, AB T0M 0X0

PREPARED FOR:
JORDAN HINDBO

INSPECTION DATE:
Thursday, August 25, 2022

PREPARED BY:
Tanner Uzelman



Certa Property Inspections
PO BOX 310 - info@certapropertyinspections.com
Red Deer, AB T4N5E9

587-834-0054
Inspector License # 353886
certapropertyinspections.com
Business License Number 344138

SUMMARY

5008 54 Avenue, Eckville, AB August 25, 2022

Report No. 2950, v.0
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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

FLAT ROOFING \ General notes

Condition: • Excessive ponding water noted on the roof as nearly the whole roof was holding water.

Ponding water should not be left for more than 48 hours once the weather conditions are dry. If it is not addressed, it could damage your roof by:

- Magnifying the harmful effects of ultraviolet radiation
- Attracting insects and mould
- Promoting the growth of vegetation, moss, algae, etc.
- Gathering unwanted soil, dirt and debris
- Prematurely degrading the roof membrane, flashings, and coatings
- Damaging the adhesives and therefore the structural integrity of the roofing system - especially with older built-up and modified roofs
- Exerting downward pressure on the entire roofing system, potentially leading to roof bowing, sagging, or even collapse



Ponding



Ponding



Ponding

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Exterior

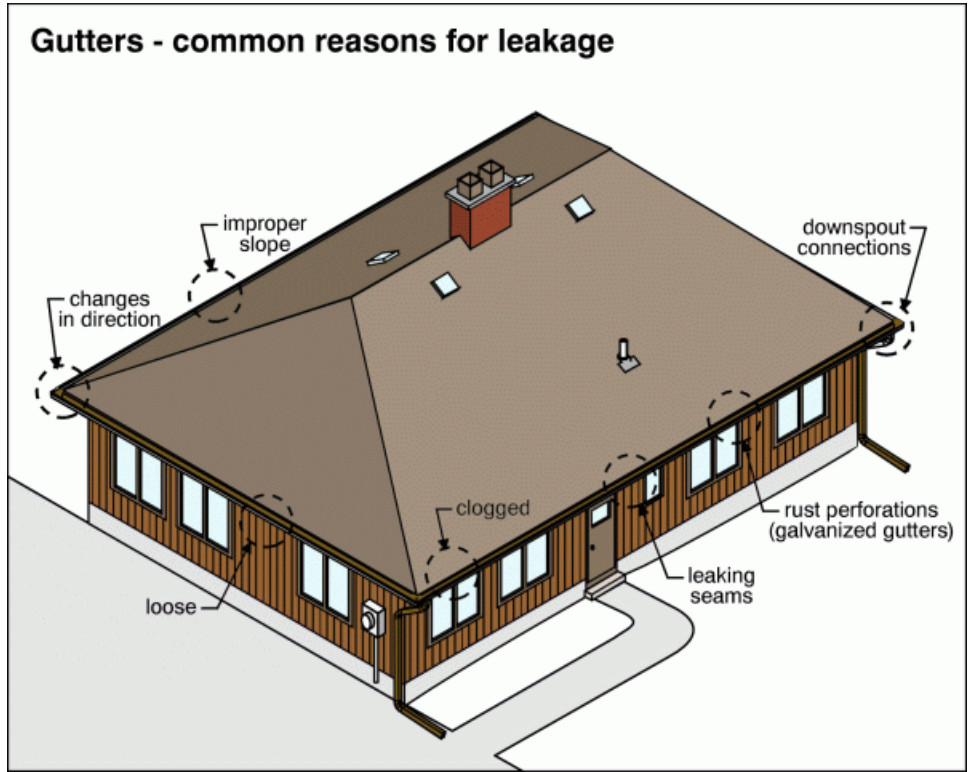
ROOF DRAINAGE \ Gutters

Condition: • Clogged

The scuppers on the roof were all found to be full of debris and vegetation. This is a likely cause for the ponding on the roof.

These should be maintained regularly to ensure they are free of debris so that they can aid in the expulsion of water.

Implication(s): Chance of water damage to structure, finishes and contents



Clogged



Clogged

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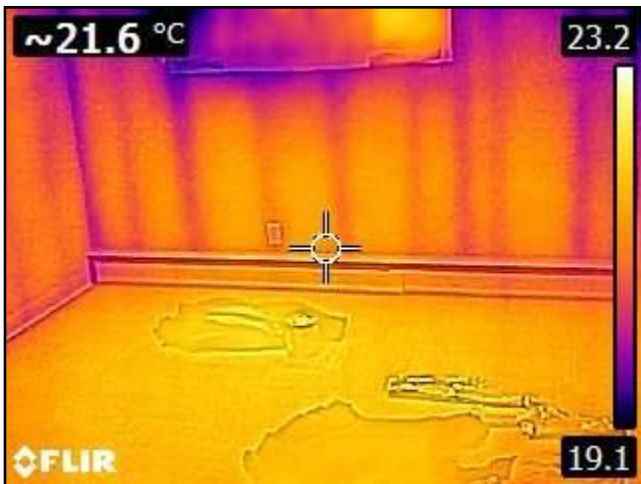


Clogged

Heating

COMMENTS \ Additional

Condition: • The inspector was unable to get heat in units two and five. It appears that both have zone valves that need replacing as they would not function open even after switching from auto to manual.



Unit 5



Unit 2

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valves for units 2 and 5 should be replaced

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

It should be noted that, at the time of the inspection, the inspector did not have access to Unit #1.

ROOFING

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Description

Flat roofing material: • The roofing material appears to be EPDM (ethylene propylene diene terpolymer) .

EPDM is an extremely durable synthetic rubber roofing membrane widely used on low-slope buildings.



Limitations

Inspection limited/prevented by: • Due to large amounts of debris and ponding on the roof, a limited inspection was performed.

It is recommended to clean out the scuppers as they are plugged. Drain and clean the roof off and then recheck the roofing materials to evaluate the condition.



Vegetation growing



Ponding

ROOFING

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Debris on roof

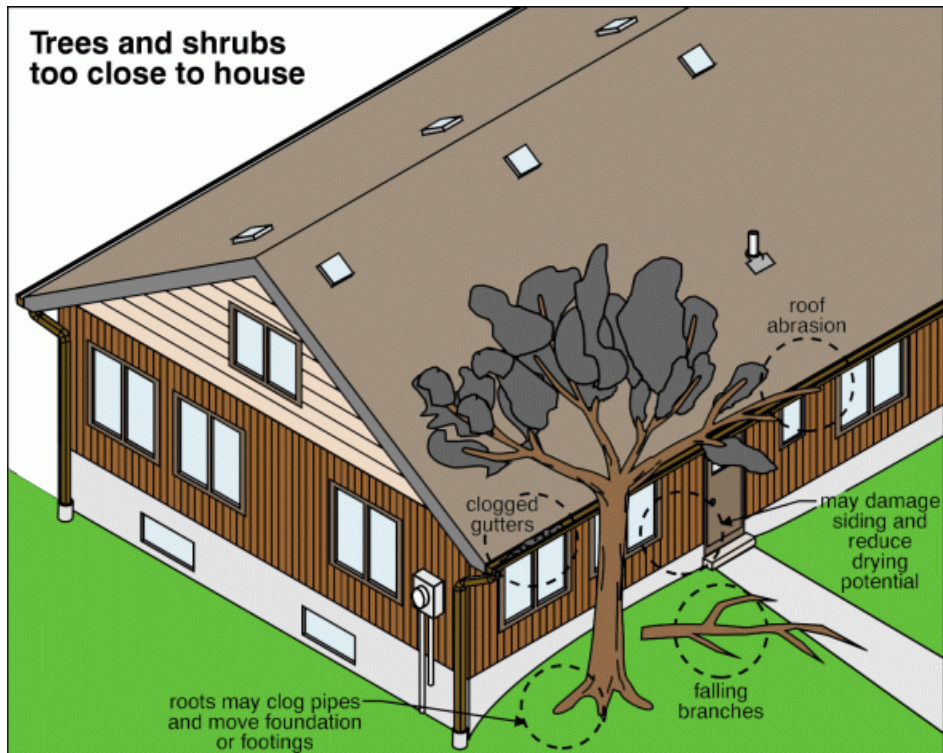
Recommendations

FLAT ROOFING

1. Condition: • Tree branches touching roof

Trees and shrubs should be kept away from structures as they can damage them. In addition, vegetation gives off lots of moisture and often harbours critters.

Implication(s): Shortened life expectancy of material



ROOFING

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Tree branches touching roof

FLAT ROOFING \ General notes

2. Condition: • Excessive ponding water noted on the roof as nearly the whole roof was holding water.

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Ponding



Ponding

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Description

Gutter & downspout material: • Aluminum

Gutter & downspout discharge: • Above grade

Lot slope:

• It is recommended that the grading around the structure be positive; meaning that it should slope away. This helps prevent water penetration into the structure. Fill areas that have settled next to the structure with clay-not topsoil- with a positive slope away from the structure (10 per cent is recommended). It should be noted that rock, gravel, mulch, etc. drains water down the exterior wall and not away. It is unknown what the grading is below these materials.



Landscaping

Wall surfaces and trim:

• Stucco

Any cracks and openings should be sealed and monitored for further expansion. The stucco appeared to be in good condition at the time of the inspection. Any deterioration should be addressed to prevent water intrusion into the building.



Seal openings



Stucco

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- Block

It is recommended to seal all openings and cracks on the cement block foundation walls.



Seal openings

Driveway:

- Gravel

The parking area is a combination of dirt and gravel.



Gravel

Walkway:

- Concrete

The walkway on the property was inspected. Typical cracks are a common occurrence with concrete walkways. A flexible sealant called Sikaflex may be used to seal the cracks.

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Concrete

Exterior steps:

- Concrete

The front steps were inspected and the following notes were made;

Handrails, and potentially balusters, should exist in areas where two or more steps exist.

The handrail was noted to be loose and should be secured for safety measures.

Typical cracks and spalling were noted on the concrete steps. It is recommended to seal these areas to prevent further deterioration.

It is recommended to resurface the cracks and deteriorated concrete on the side to prevent further deterioration.



Concrete



Handrail recommended

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Loose

Recommended to resurface

- Concrete

The rear steps were inspected and the following notes were made;

Handrails, and potentially balusters, should exist in areas where two or more steps exist.

Riser height should be within $\frac{1}{4}$ - $\frac{3}{8}$ " on steps to prevent tripping accidents.

Typical cracks and spalling were noted on the concrete steps. It is recommended to seal these areas to prevent further deterioration.

The stairs were noted to have shifted and are currently slanted. This is likely from the freezing and thawing weather cycles. As this is a possible tripping hazard, it is recommended to have this corrected.



Handrails recommended

Uneven riser heights

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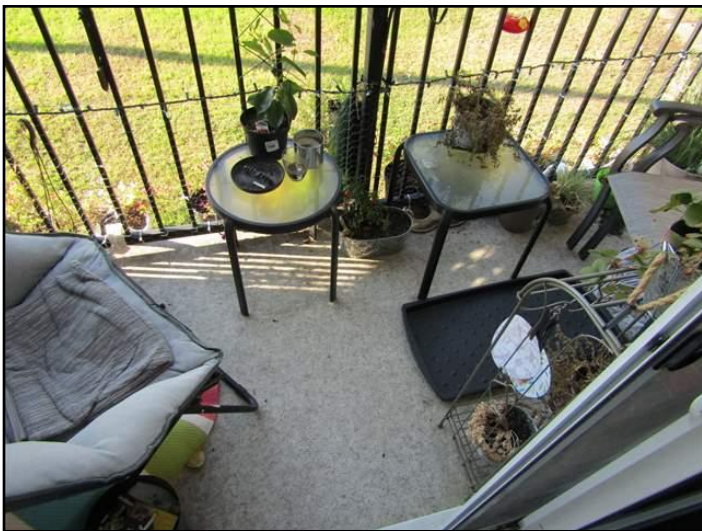


Shifted

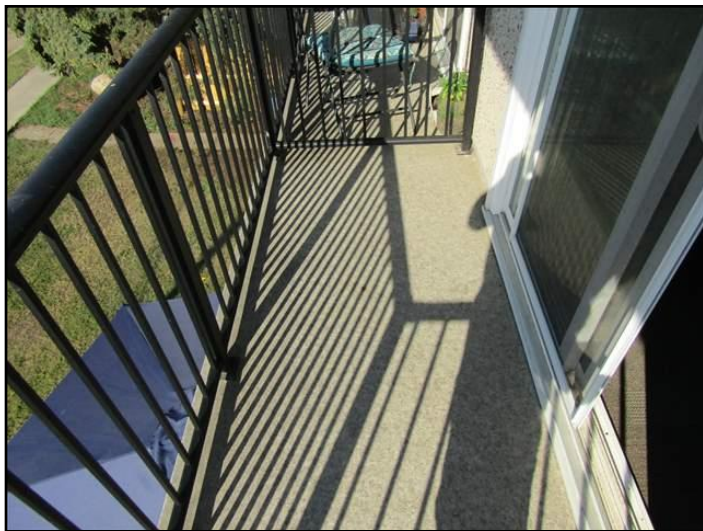
Balcony:

- Wood

The balconies were inspected and appear to be well built and structurally sound. It should be noted that the inspector is unable to tell what the building material under the waterproof membrane looks like.



Unit 4



Unit 5

Fence:

- Wood

The fence was inspected and the following notes were made;

It is recommended to maintain exterior wood products on a regular basis; this consists of removing old and damaged paint / stain, priming and reapplying new product and caulking if necessary. This will prolong the lifespan of the wood product.

It is recommended to keep vegetation away from the fence line as they may damage it or cause it to lean.

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Wood



Keep vegetation away

Recommendations

RECOMMENDATIONS \ General

3. Condition: • It is recommended to maintain exterior wood products on a regular basis; this consists of removing old and damaged paint / stain, priming and reapplying new products. This will prolong the lifespan of the wood product.

Implication(s): Wood decay / Rot / Fungus Growth



Exterior Wood Products

ROOF DRAINAGE \ Gutters

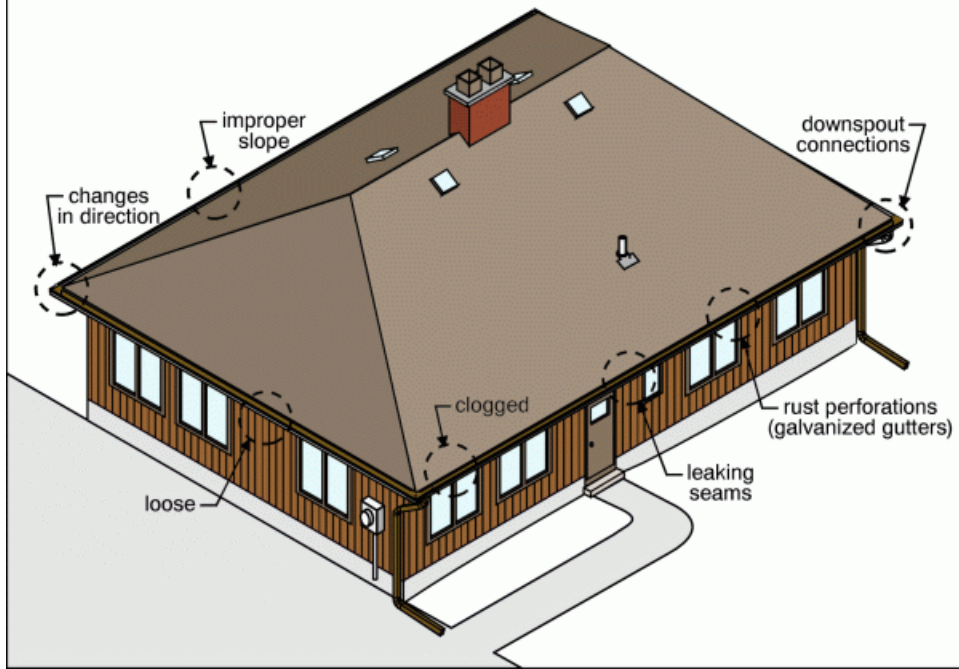
4. Condition: • Clogged

The scuppers on the roof were all found to be full of debris and vegetation. This is a likely cause for the ponding on the roof.

These should be maintained regularly to ensure they are free of debris so that they can aid in the expulsion of water.

Implication(s): Chance of water damage to structure, finishes and contents

Gutters - common reasons for leakage



Clogged



Clogged



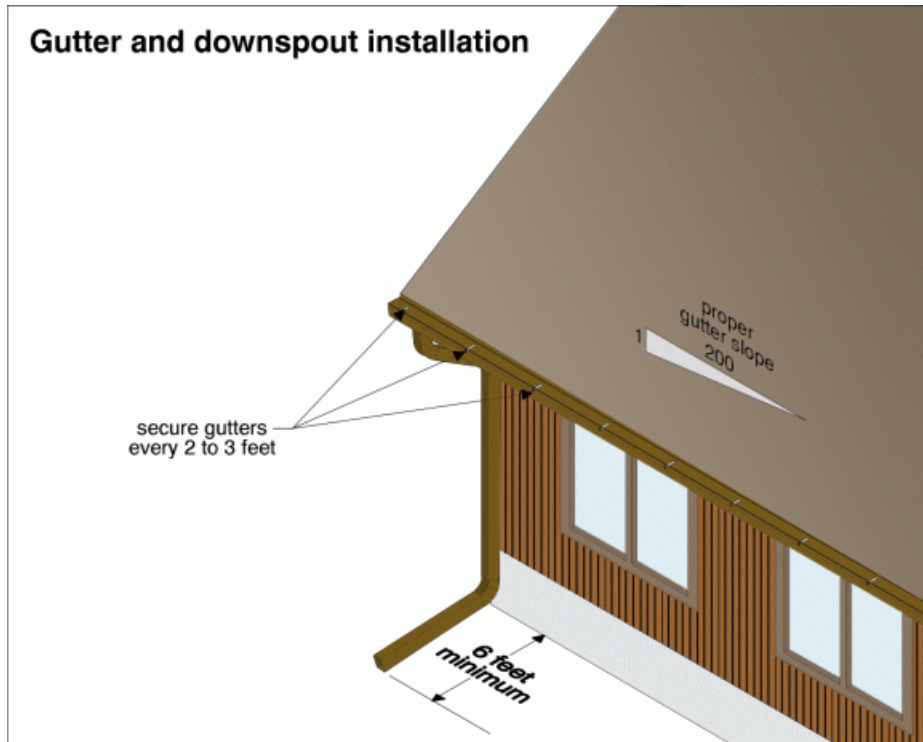
Clogged

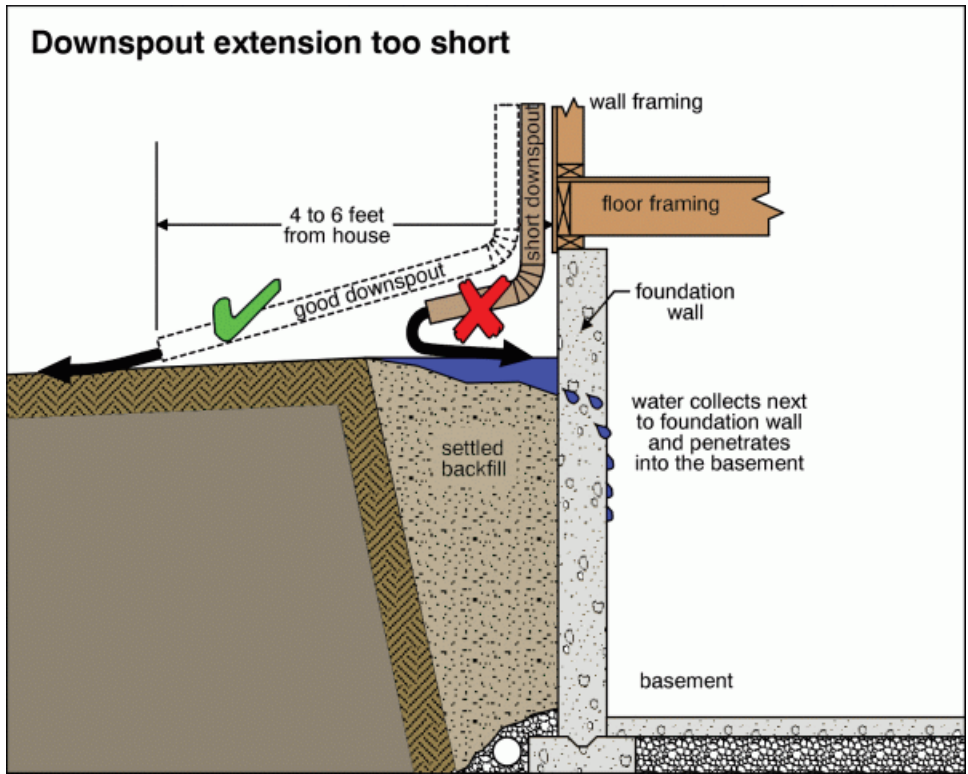
ROOF DRAINAGE \ Downspouts

5. Condition: • Should discharge 6 feet from building

Downspout extensions should be secured to downspouts and positioned 6 feet away from the structure. This helps to prevent water migrating into the foundation and potentially causing structural issues. In addition, the downspout extensions should be checked that the run off does not make its way back towards the foundation of the structure.

Implication(s): Chance of water damage to structure, finishes and contents





Should discharge 6 feet from building



Should discharge 6 feet from building

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Should discharge 6 feet from building

EXTERIOR GLASS/WINDOWS \ Glass (glazing)

6. Condition: • Cracked

The following window was found to be cracked should be replaced.



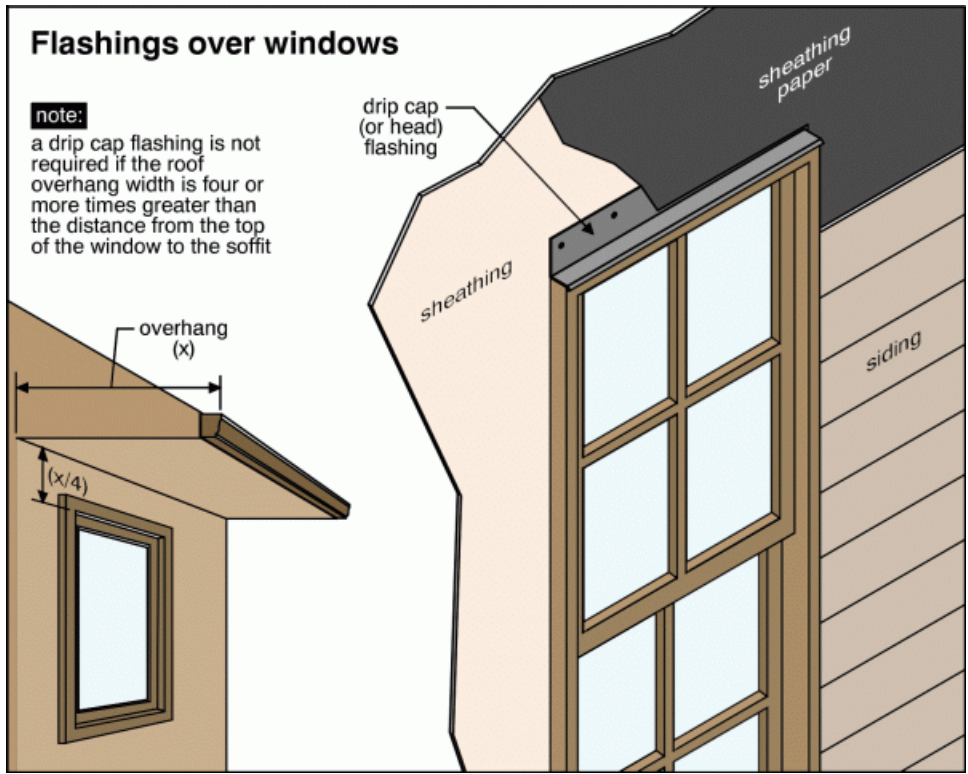
Unit 2 bathroom window

EXTERIOR GLASS/WINDOWS \ Exterior drip caps/Drip cap flashing/Head flashing

7. Condition: • Missing

All window and door trim should have a drip edge. These help prevent water penetration into the building and the framing around the structure. It is recommended to seal the areas with caulking to prevent water intrusion.

Implication(s): Chance of water damage to structure, finishes and contents



Missing

LANDSCAPING \ General notes

8. Condition: • Trees or shrubs too close to building

Trees and shrubs should be kept away from structures as they can damage them. In addition, vegetation gives off lots of moisture and often harbours critters.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

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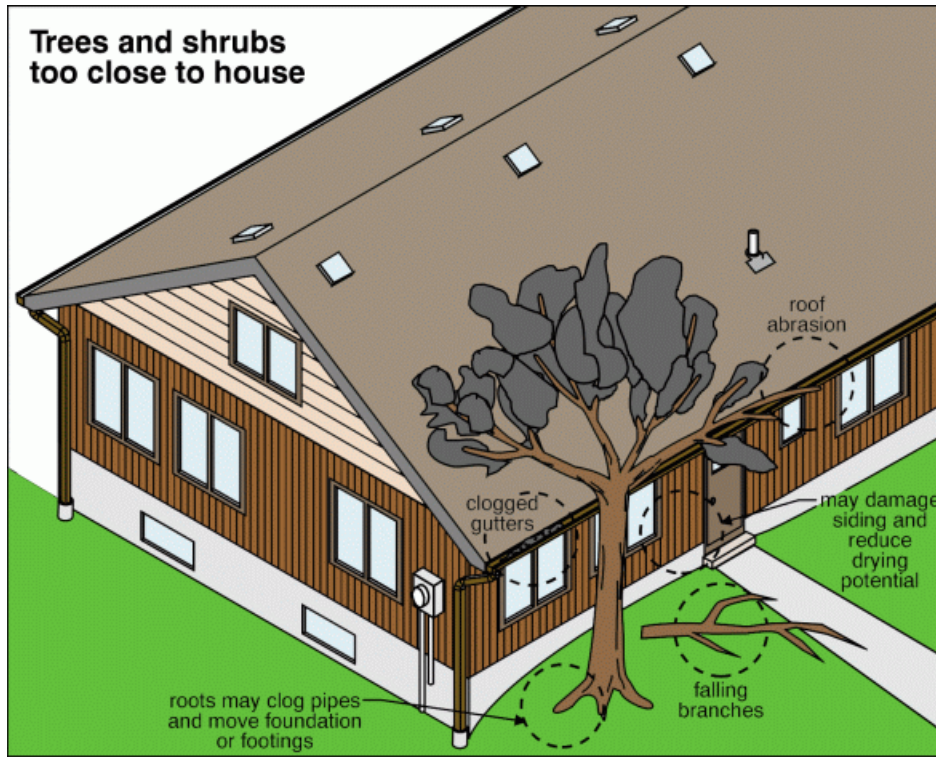
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Trees or shrubs too close to building



Trees or shrubs too close to building

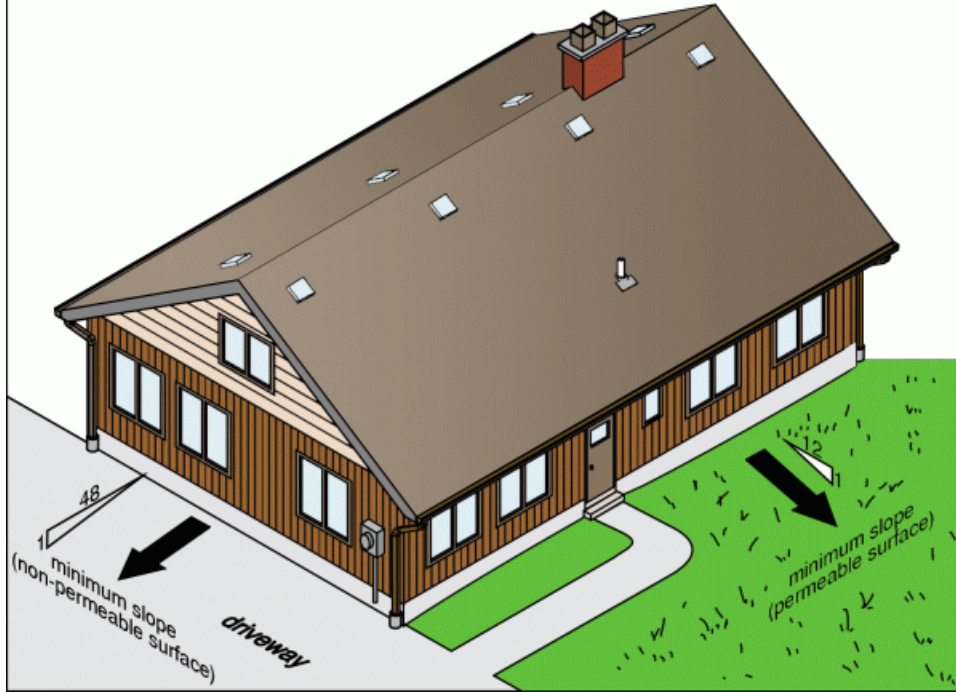
LANDSCAPING \ Lot grading

9. Condition: • Improper slope or drainage

It is recommended that the grading around the structure be positive; meaning that it should slope away. This helps prevent water penetration into the structure. Fill areas that have settled next to the structure with clay-not topsoil- with a positive slope away from the structure (10 per cent is recommended).

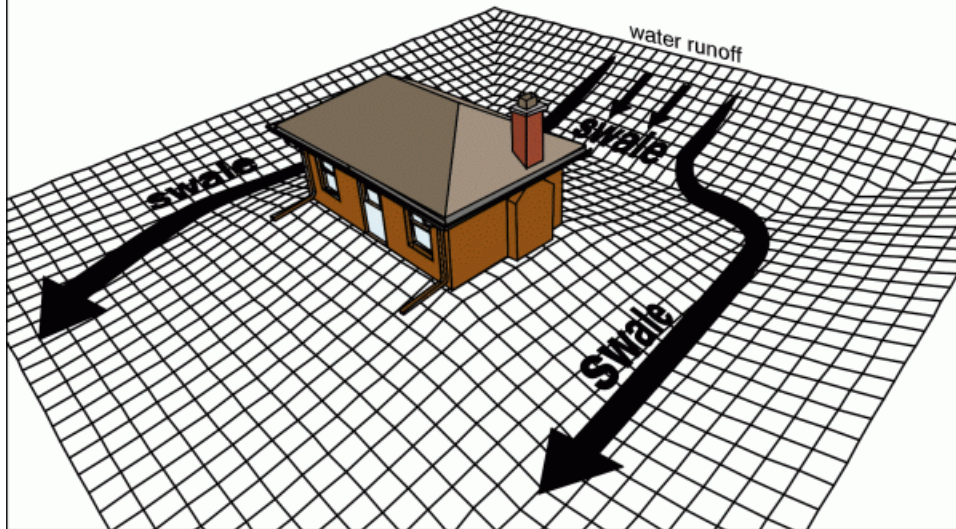
Implication(s): Chance of water damage to structure, finishes and contents

Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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Improper slope or drainage



Improper slope or drainage

Description

Configuration: • Basement

Foundation material:

- Masonry block

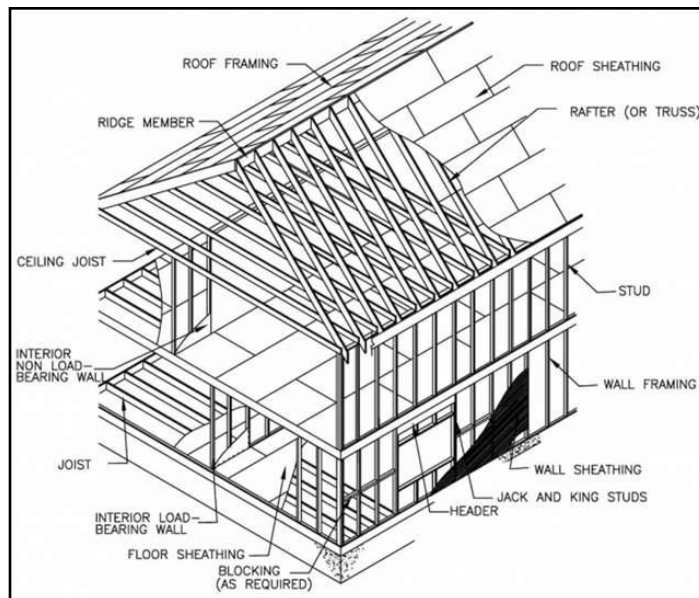
Because the home has a concrete block foundation, it is recommended that proper water control measures are taken at the exterior of the home. This includes clean and secured gutters, adequate downspouts and proper location away from the home, and positive grading away from the home.



Masonry block

Exterior wall construction:

- Wood-frame construction can incorporate dimension lumber, engineered wood products and structural wood panel sheathing into wall, floor and roof assemblies that are robust, economical and fast to build.



Wood frame

Recommendations

FOUNDATIONS \ General notes

10. Condition: • Some step cracks were noted on the concrete block foundation. There are any number of causes for a concrete block foundation to crack: water, shifting in the ground, tree roots deteriorating. It is recommended to have these cracks along the mortar sealed or re-mortared by a professional for structural integrity and to help aid in the prevention of water intrusion.

It is recommended to have the crack on the block (Where the arrow in the picture is pointing to) sealed with a cement sealant to prevent water intrusion.



Crack on block as well as Step crack



Step crack



Step Crack

Description

Service entrance cable and location:

- Overhead - cable type not determined



Overhead - cable type not determined

Main disconnect/service box rating:

- 200 Amps



200 Amps



200 Amps

- 60 Amps

The main disconnects for units are 60amp each.



60 Amps

Main disconnect/service box type and location:

- Breakers

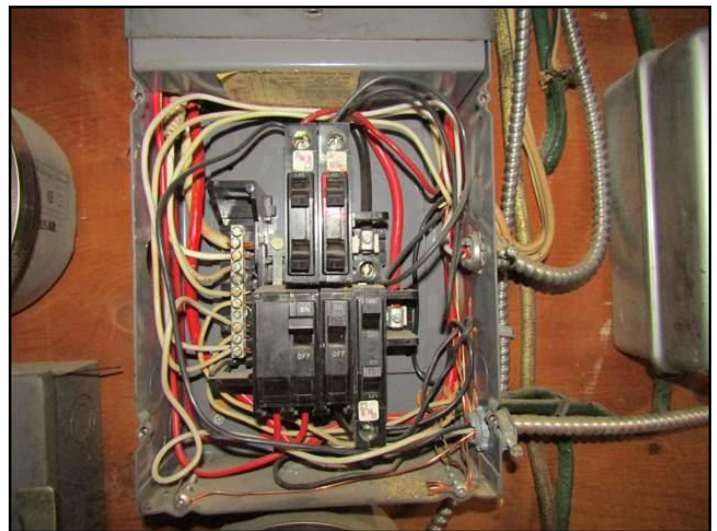
The following electrical panel was inspected. No concerns were noted.



Main panel

- Breakers

The electrical panels in the following units were inspected.



Main panel

ELECTRICAL

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Unit 3



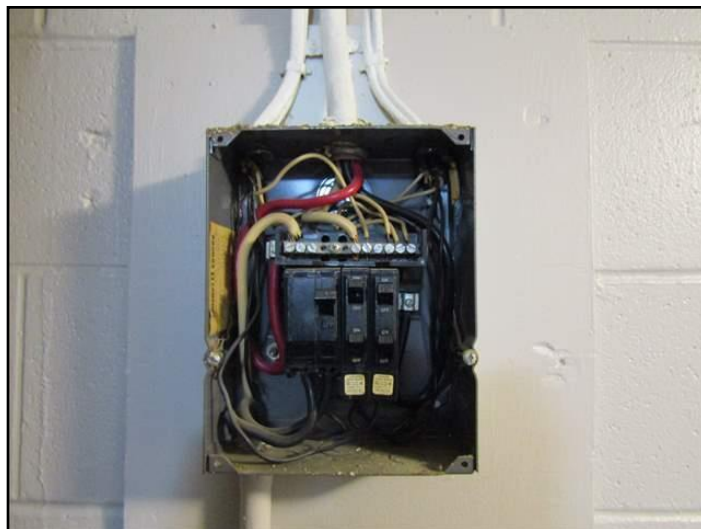
Unit 4



Unit 5



Unit 6



Unit 2

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- GFCI - bathroom

The Ground Fault Circuit Interrupter (GFCI) receptacle in the following bathrooms were tested and worked well.



Unit 3



Unit 4



Unit 5



Unit 6



Unit 2

- GFCI - kitchen

The Ground Fault Circuit Interrupter (GFCI) receptacles in the following kitchens were tested and functioned well.



Unit 3



Unit 4



Unit 5



Unit 6



Unit 2

Smoke alarms (detectors):

- Present

These units should be tested on a monthly basis with a canister of smoke to ensure they are functioning properly.

All the smoke detectors in the building should be checked to ensure that they are not older than 10 years; as this is the typical life span of the units.

It is recommended to have smoke detectors in every room of the building



Hallway



Carbon monoxide (CO) alarms (detectors): • It is recommended to have carbon monoxide detectors on every floor of a home. These are safety devices which detect a lethal gas that has taken the lives of many unsuspecting individuals. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning appliance such as a furnace, range, water heater, space heater, dryer, or wood stove. It is recommended to replace the batteries in the current unit as they appeared to be dead.

Limitations

Not included as part of a building inspection: • Testing of smoke and/or carbon monoxide alarms • Determination of the age of smoke and carbon monoxide alarms

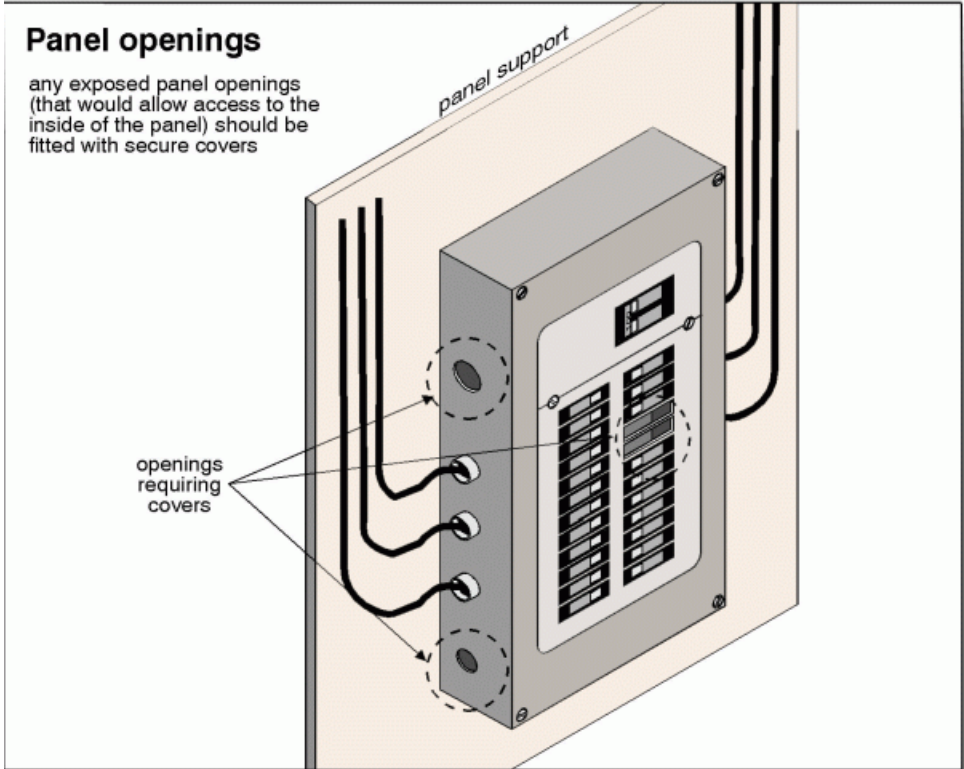
Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

11. Condition: • Openings in panel

All openings to the panel should be closed off.

Implication(s): Electric shock | Fire hazard



Mechanical room

12. Condition: • Circuits not labeled

Some of the breakers in the units were not labelled, all breakers should be labelled. It is recommended to have this done by a qualified person.

Implication(s): Nuisance



Unit 5



Unit 6



Unit 2

13. Condition: • It is recommended to clean the dust out of the following breaker panel. Dust may damage the breakers to the point where they will not "trip" when needed.



Unit 4

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

14. Condition: • Extension cord used as permanent wiring

Extension cords should not be used as a permanent power source. It is recommended that proper circuit wiring be used.

Implication(s): Electric shock | Fire hazard



Extension cord used as permanent wiring



Extension cord used as permanent wiring

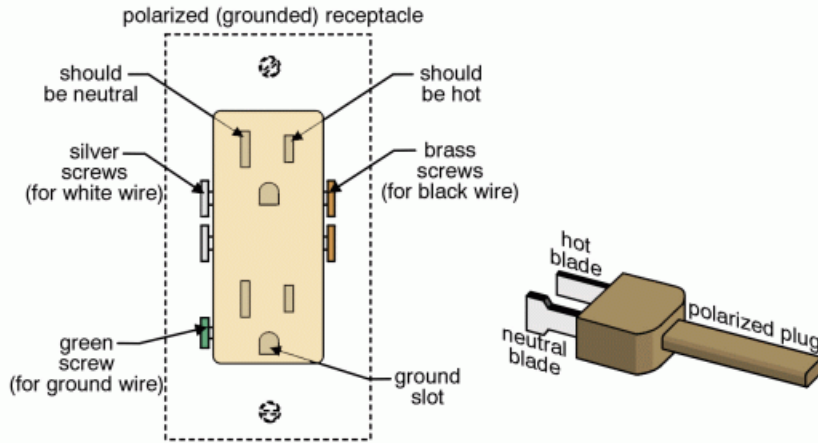
DISTRIBUTION SYSTEM \ Outlets (receptacles)

15. Condition: • Reversed polarity

The following receptacles had reversed polarity and should be remedied by a qualified electrician.

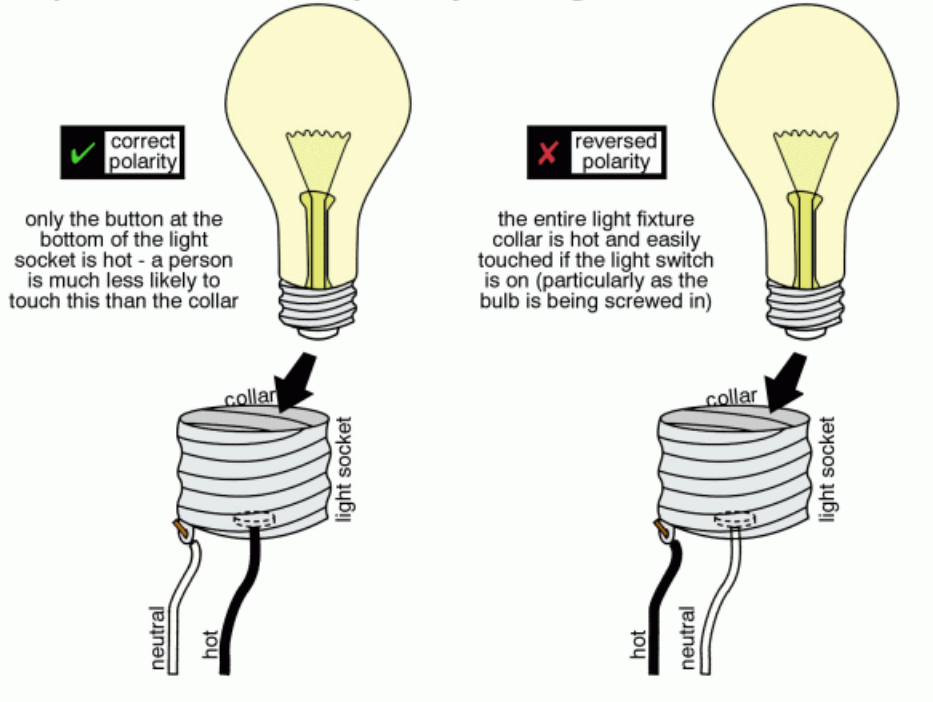
Implication(s): Electric shock

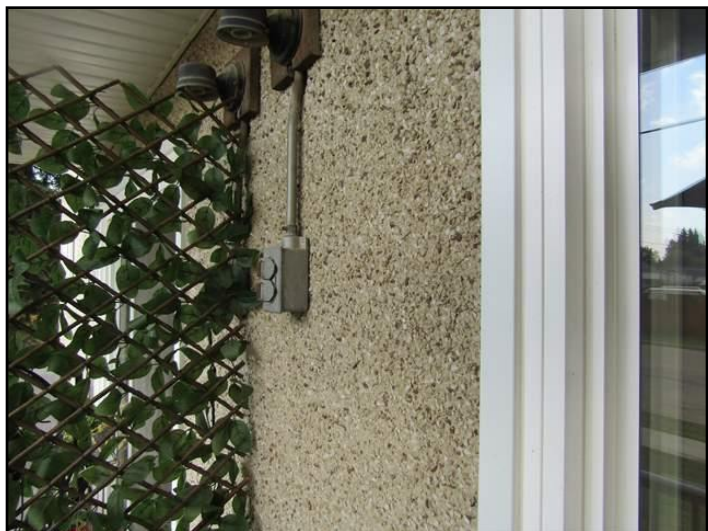
Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

Importance of correct polarity with light fixtures





Outdoor receptacle

16. Condition: • Not suitable for outdoor (exterior) use
- A proper weather rated cover should be installed for the following outdoor receptacles.
Implication(s): Shock hazard or interruption of electrical service



Not suitable for outdoor (exterior) use



Not suitable for outdoor (exterior) use

DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

17. Condition: • Outdoors
Though it was not in the building code when the house was built, it is recommended to have GFCI protection for outdoor receptacles.



Outdoors

DISTRIBUTION SYSTEM \ Cover plates

18. Condition: • Missing

It is recommended to have cover plates on junction boxes, switches, and outlets.

Implication(s): Electric shock



Unit 3



hallway

DISTRIBUTION SYSTEM \ Lights

19. Condition: • Inoperative

The following fixture could not be operated. This may be due to a burnt/missing bulbs, hidden switches, or a wiring / transformer issue.

Implication(s): Inadequate lighting



Missing bulb

20. Condition: • The hallway lights on the main floor were found to continually flicker on and off. It is recommended to investigate this further and if necessary have an electrician remedy the issue. This could be a loose bulb, incorrect bulb being used, wiring issue...etc



Lights flickering continually

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

21. Condition: • More than 10 years old

All the smoke detectors in the structure should be checked to ensure that they are not older than 10 years; as this is the typical life span of the units. The radioactive element in ionization smoke alarms will decay beyond usability within 10 years.

These units should be tested on a monthly basis with a canister of smoke to ensure they are functioning properly. Batteries should be changed annually at the least.

Implication(s): Life safety hazard



Unit 2

22. Condition: • The following smoke detector should be properly secured.



Unit 5



Unit 6

COMMENTS \ Additional

23. Condition: • The emergency lights in the hallway were tested and worked properly.

ELECTRICAL

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Description

Heating system type:

- Boiler

The boiler was given a general inspection. These units should be serviced once every 2-3 years. It is recommended to obtain the service history records.



Boiler



Boiler

Fuel/energy source:

- Gas

A combustible gas detector was used to inspect readily accessible gas fittings. No issues were found at the time of the inspection.



Gas

Heat distribution:

- Baseboards

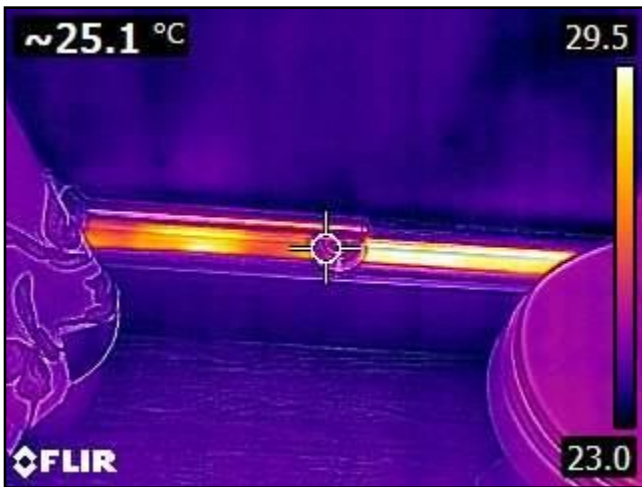
The baseboard heaters in units 3, 4, and 6 functioned well at the time of the inspection.

HEATING

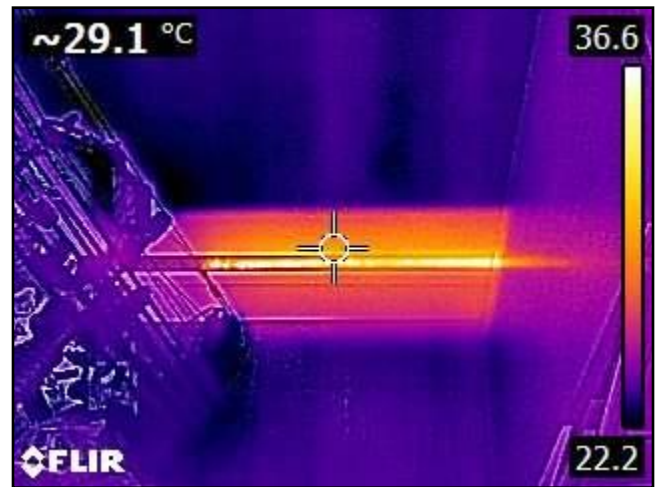
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Unit 4



Unit 4



Unit 6



Unit 6



Unit 3



Unit 3

HEATING

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- HEATING**
- INSULATION
- PLUMBING
- INTERIOR

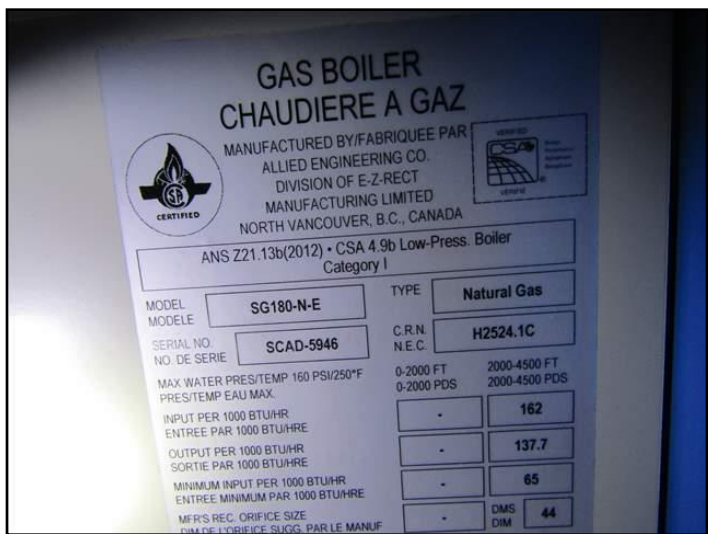


Zone valves for units

Approximate age:

- 10 years

Although no date showing the age was seen on the boiler, the CSA standard that it conforms to is from 2012. The boiler is approx. 10 years old.



10 years

Main fuel shut off at:

- Meter

If the building occupants ever detect the smell of natural gas, they should vacate the premises immediately and call the proper authorities outside of the building.

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Meter

Auxiliary heat: • The two stairwell/hallway heaters appeared to be in good working order but could not be tested at the time of the inspection as the thermostats were locked up.



Thermostat locked

Recommendations

OIL HOT WATER BOILER \ Radiators, convectors and baseboards

24. Condition: • It is recommended to clean the baseboard heater fins in the units. Keeping the fins clean increases heating efficiency and baseboard heat radiators should be cleaned at least once a year, and more often if you have dogs or cats.

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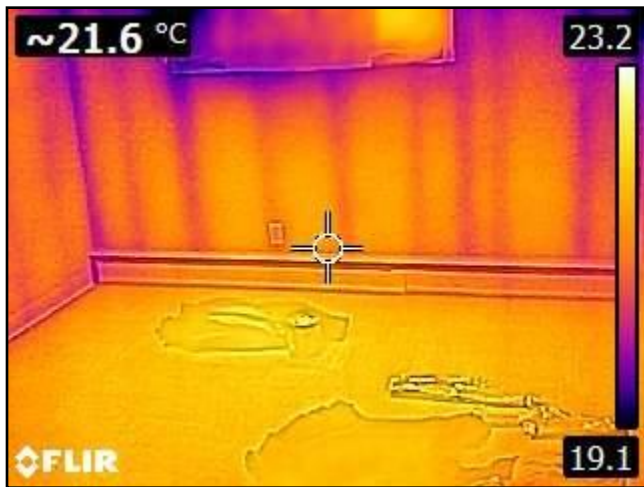
Dirty



Dirty

COMMENTS \ Additional

25. Condition: • The inspector was unable to get heat in units two and five. It appears that both have zone valves that need replacing as they would not function open even after switching from auto to manual.



Unit 5



Unit 2

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valves for units 2 and 5 should be replaced

INSULATION AND VENTILATION

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Description

Attic

•

No access to check insulation type and level exists.

Description

Water supply source (based on observed evidence):

- Public

Turning down the temperature of hot water heaters can save energy and prevent scalding.



Public

Service piping into building: • Copper

Supply piping in building:

- Copper

The supply lines in the structure are copper.



Copper

Main water shut off valve at the:

- Near water heater

In case of a water emergency, this valve should be turned to shut off the water supply to the structure. It should be noted that these valves are not tested during the property inspection; these valves may fail to seal or turn due to wear and tear or lack of use.



Near water heater

Water heater type: • Tank

Water heater fuel/energy source:

- Gas

A combustible gas detector was used to inspect readily accessible gas fittings. No issues were found at the time of the inspection.



Gas

Water heater tank capacity:

- 41.6 gallons

Both water heaters have a capacity of 41.6 Gallons

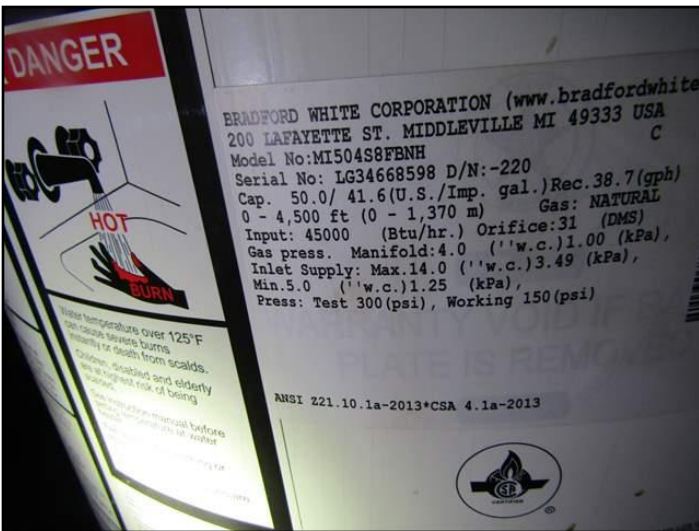


41.6 gallons

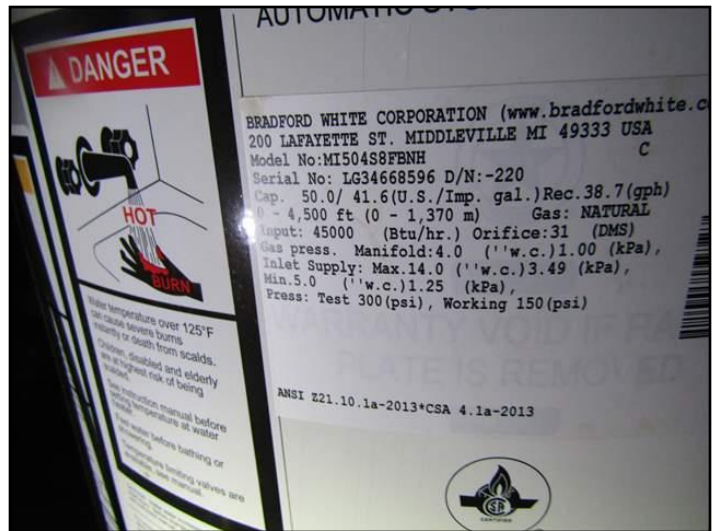
Water heater approximate age:

- 8 years

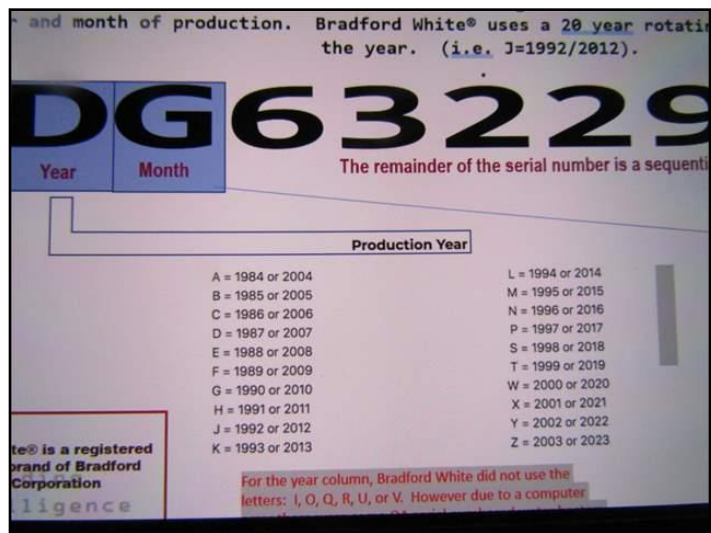
Both of the water heater for the building were found to be 8 years old.



8 years



8 years



8 years

Exterior hose bibb (outdoor faucet):

- Present

The exterior hose bibbs were inspected. It is recommended to shut off the supply lines where possible and remove any hoses attached to the bib during the winter months. It should be noted that any leaks that may be present at the stem or supply line in the wall cannot be inspected.



Present

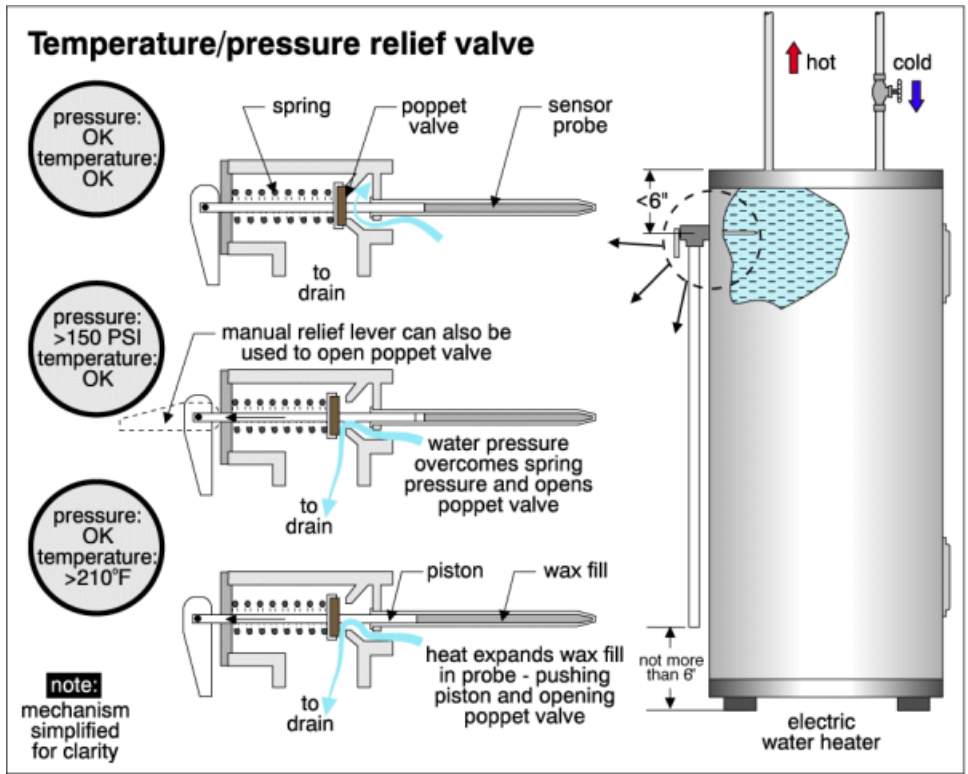
Recommendations

WATER HEATER \ Temperature/pressure relief (TPR) valve

26. Condition: • Discharge tube missing

It is recommended to install discharge tubes for the temperature pressure relief valves.

Implication(s): Scalding

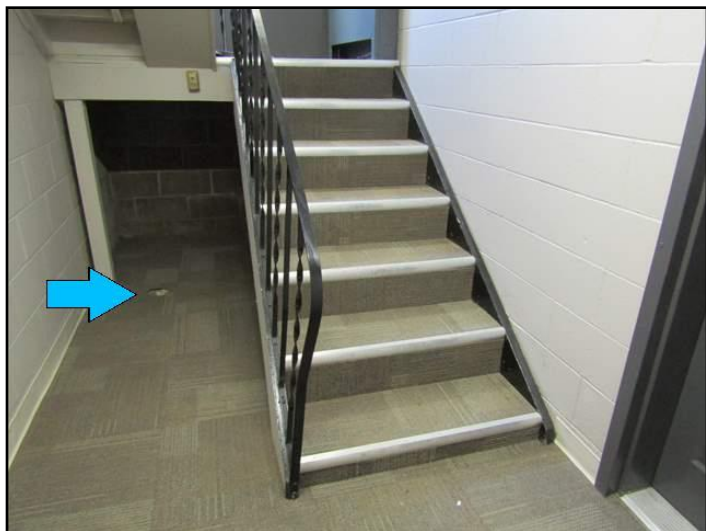


Discharge tube missing

WASTE PLUMBING \ Floor drain

27. Condition: • Grate missing, rusted or obstructed
Floor drains should have grates to prevent debris from falling in.

Implication(s): Chance of water damage to structure, finishes and contents | Trip or fall hazard



Grate missing

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

28. Condition: • Leak or drip

The exterior hose bib leaks and should be replaced by a qualified plumber.

Implication(s): Chance of water damage to structure, finishes and contents



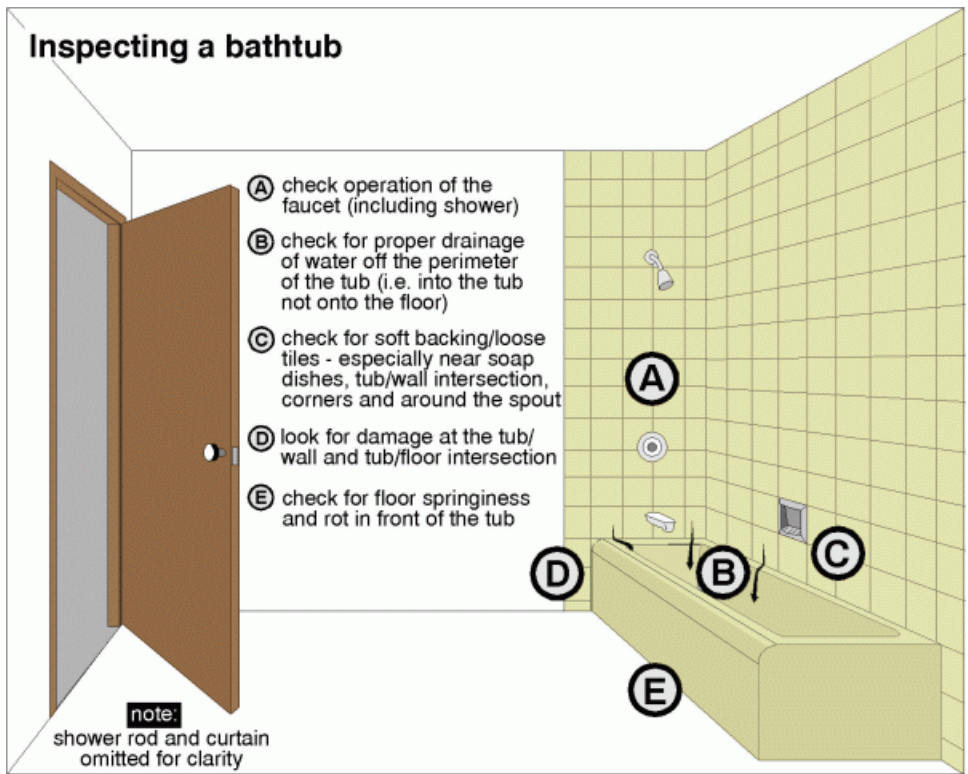
Leak or drip

FIXTURES AND FAUCETS \ Bathtub

29. Condition: • Slow drain

The following bathtub had a slow drain. This may be remedied by using a plastic snake, or pouring vinegar down the drain.

Implication(s): Chance of water damage to structure, finishes and contents



Unit 6

FIXTURES AND FAUCETS \ Toilet

30. Condition: • It is recommended to replace the fill valve assembly for the following toilet as it kicks in and out several times while filling.

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Unit 2

Description

Windows: • No warranties are made for the integrity of the windows, seals, frames, or against water intrusion. It should be noted that windows should be adequately sized for egress purposes (350mm total area obstructions and no dimension less than 15"). In addition, bedrooms should have a chair, table, etc. that allow egress, for especially children and elderly, in case of an emergency. All bars should be removed for egress purposes. It should be noted that adding tinting or foil films to double-glazed windows; voids manufacturer's warranties. Lastly, it is recommended to have air flow during colder seasons to prevent condensation build up. This consists of opening the blinds.

Appliances:

- Refrigerator

The refrigerators in the following units were found to provide adequate cooling temperature.



Unit 4



Unit 5



Unit 6



Unit 2

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Unit 3

- Range

The following ovens and stove tops were tested and functioned well.



Unit 4



Unit 5



Unit 6



Unit 2

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Unit 3



Unit 3

Counters and cabinets:

- Inspected

The cabinets and counters were inspected.



Unit 3



Unit 4

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Unit 5



Unit 6



Unit 2

Inventory Washing Machine: • The coin operated washing machine in the hallway was not tested at the time of the inspection.



Inventory Dryer: • The coin operated Dryer in the hallway was not tested at the time of the inspection.



Limitations

Inspection limited/prevented by:

- Storage/furnishings

Due to storage/furniture/coverings, some areas could not be fully inspected.

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Unit 3



Unit 3



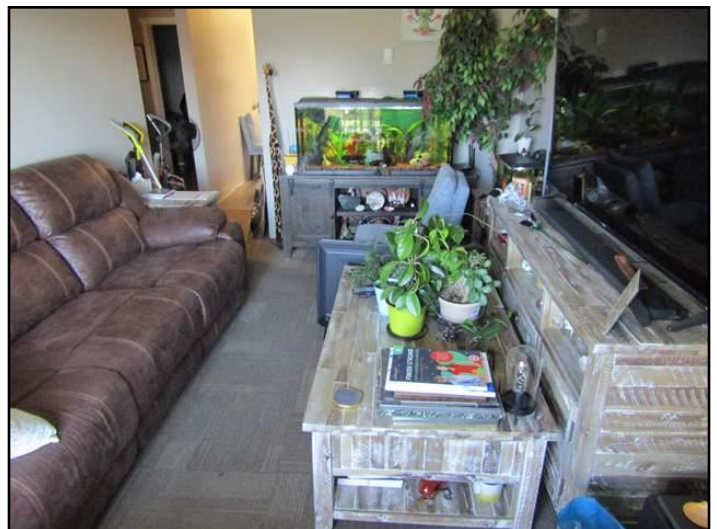
Under stairs



Unit 4



Unit 4



Unit 4

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Unit 5



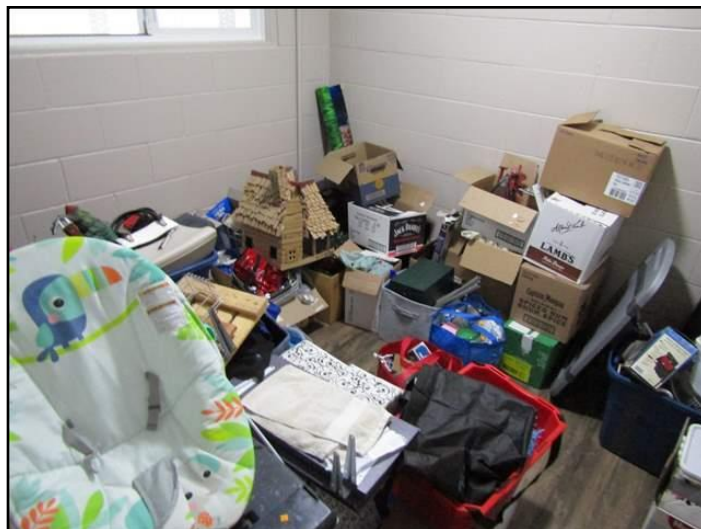
Unit 6



Unit 2



Unit 2



Unit 2

Cosmetics:

- It should be noted that the home inspector does not point out all cosmetic issues.

Cosmetic issues in the house include but are not limited to the following;



Settlement cracks



Marks on ceiling (unit 6)

Recommendations

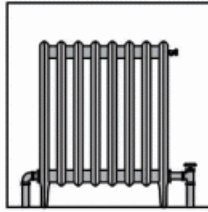
CEILINGS \ General notes

31. Condition: • Water damage

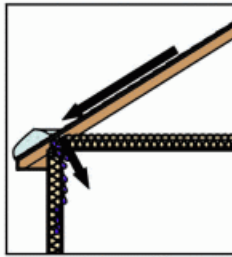
The following area in the mechanical room was found to have excess amounts of water damage but no current moisture. It was unclear what caused this but it may be condensation from the heat in winter. It is recommended to have a professional evaluate this further and to have the affected materials replaced.

Implication(s): Chance of movement | Rot | Leakage

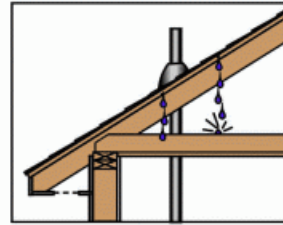
Sources of interior water damage



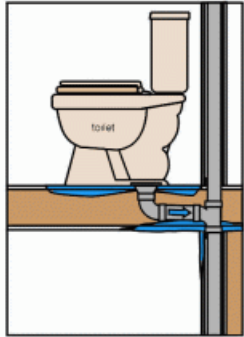
heating leaks



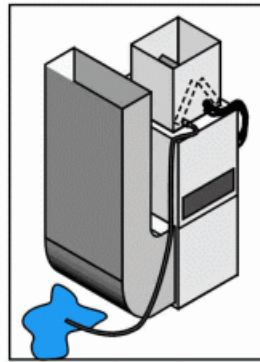
ice damming and condensation



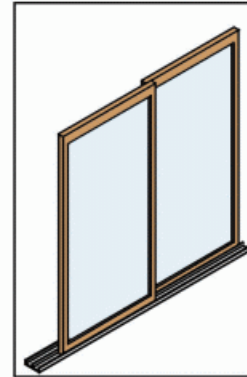
roof or flashing leaks



plumbing leaks



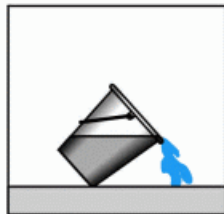
air conditioning leaks



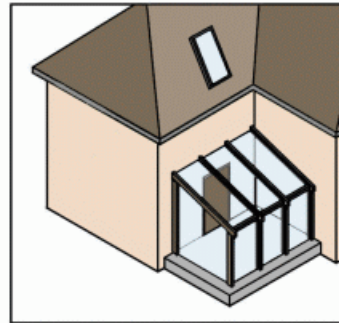
door leaks



melting snow

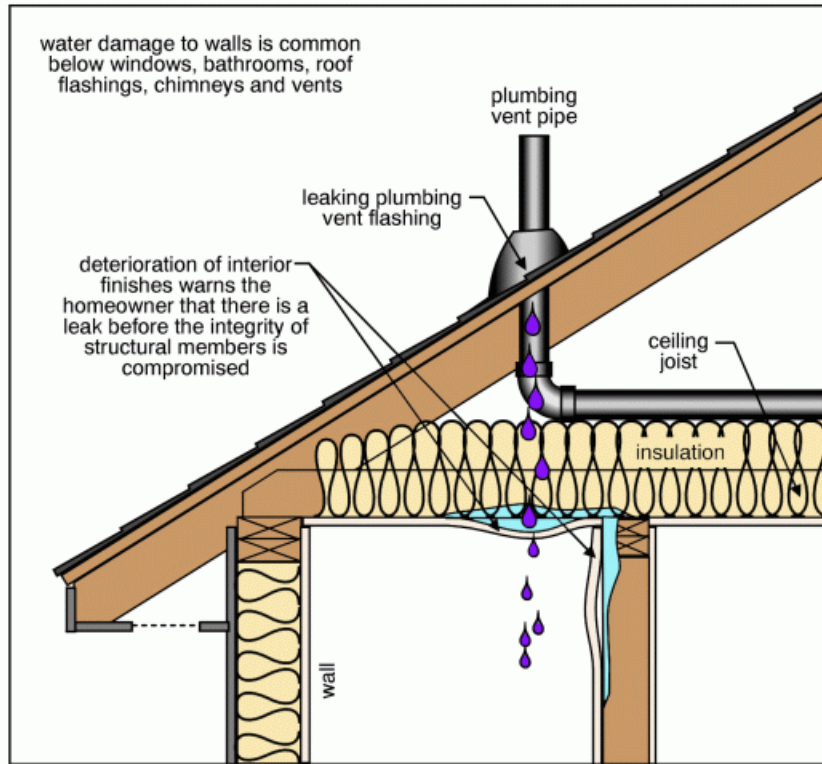


accidental spills



wall, window, solarium and skylight leaks

Common locations for water damage



No current moisture



Water damage



No current moisture

WINDOWS \ Storms and screens

32. Condition: • Torn

Some screens in the dwelling were found to be damaged.

Implication(s): Chance of pests entering building



Building rear entrance

DOORS \ General notes

33. Condition: • The following notes were made regarding doors at the property;

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Rear entrance door/mechanical damage

DOORS \ Hardware

34. Condition: • Broken

The following handle is damaged and should be repaired or replaced.

Implication(s): System inoperative or difficult to operate



Unit 6

DOORS \ Storms and screens

35. Condition: • Torn

The storm screen was found to be torn and should be repaired or replaced.

Implication(s): Chance of pests entering building



Unit 3

STAIRS \ General notes

36. Condition: • Riser height should be within 3/8" on all steps to prevent tripping accidents.



Uneven riser heights

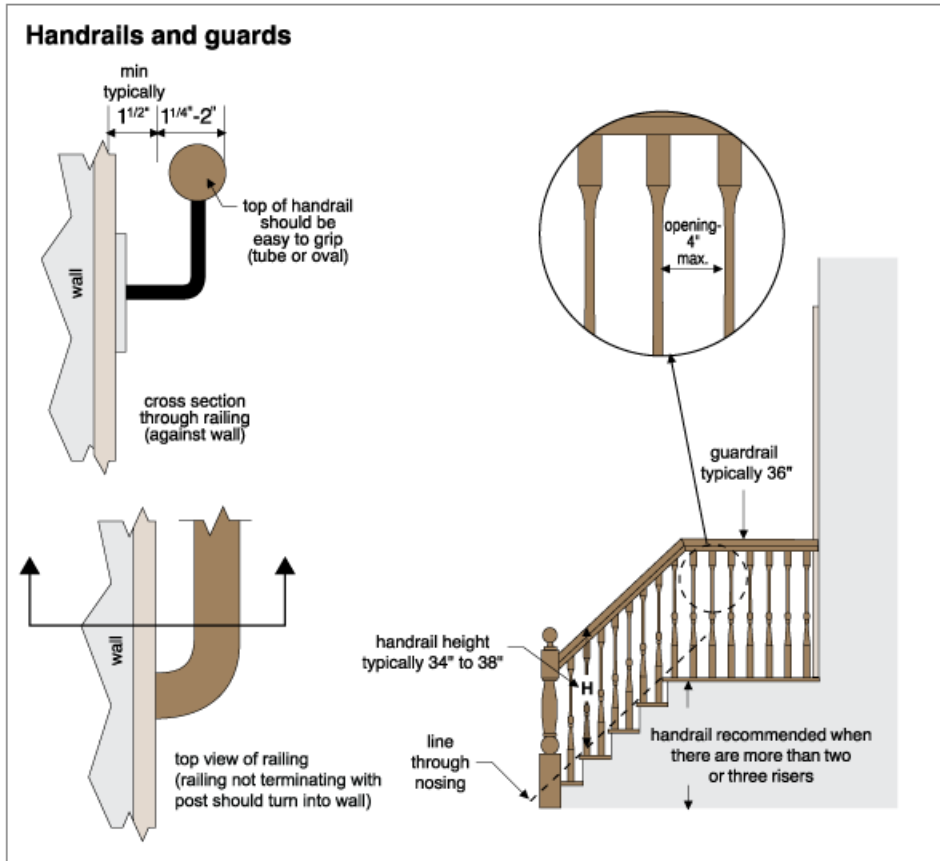
STAIRS \ Handrails and guards

37. Condition: • Too low

Today's standard requires that handrails be a minimum of 42" in height when the distance from the floor to ground exceeds 6'.

In addition, when the distance from the floor to ground is less than 6' handrails be a minimum of 36" in height. It is recommended to raise these.

Implication(s): Fall hazard

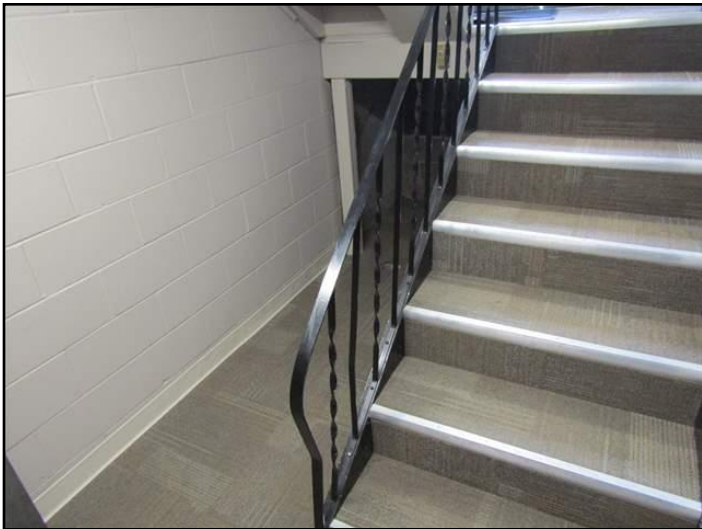
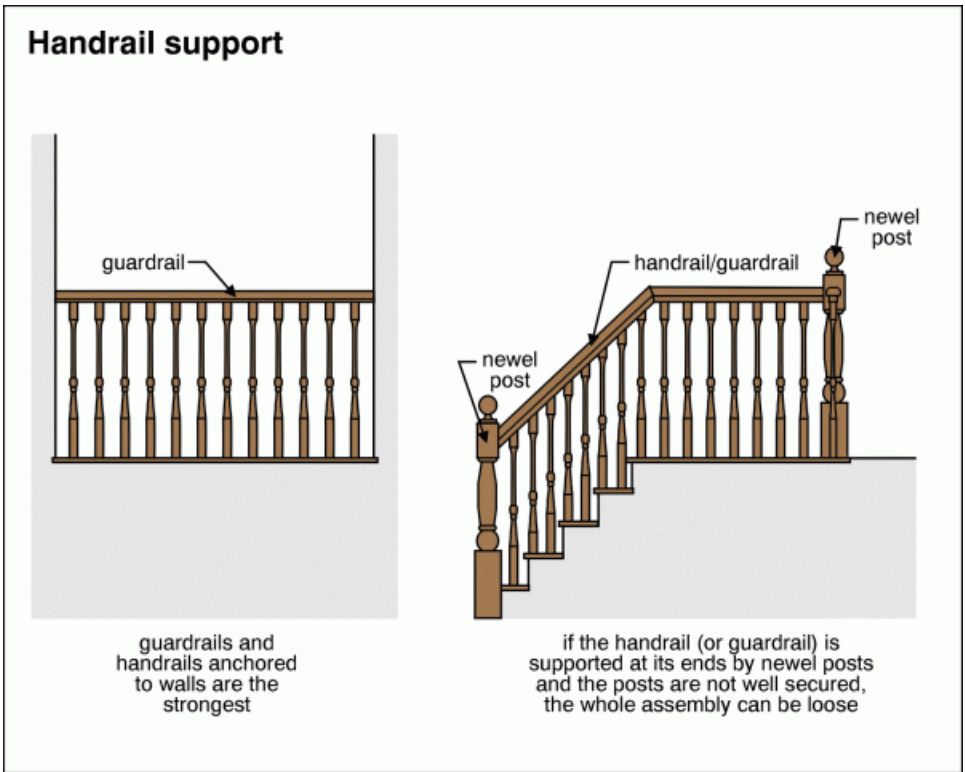


32" stairwell handrails

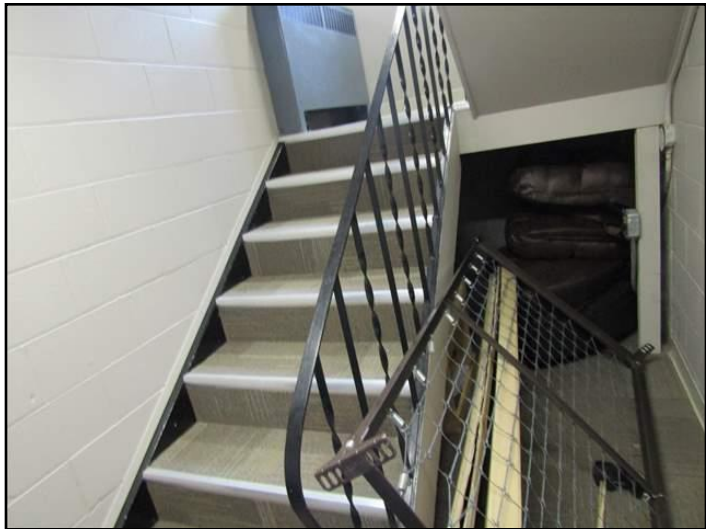
38. Condition: • Loose

Some of the handrails were loose and should be tightened.

Implication(s): Fall hazard



Loose



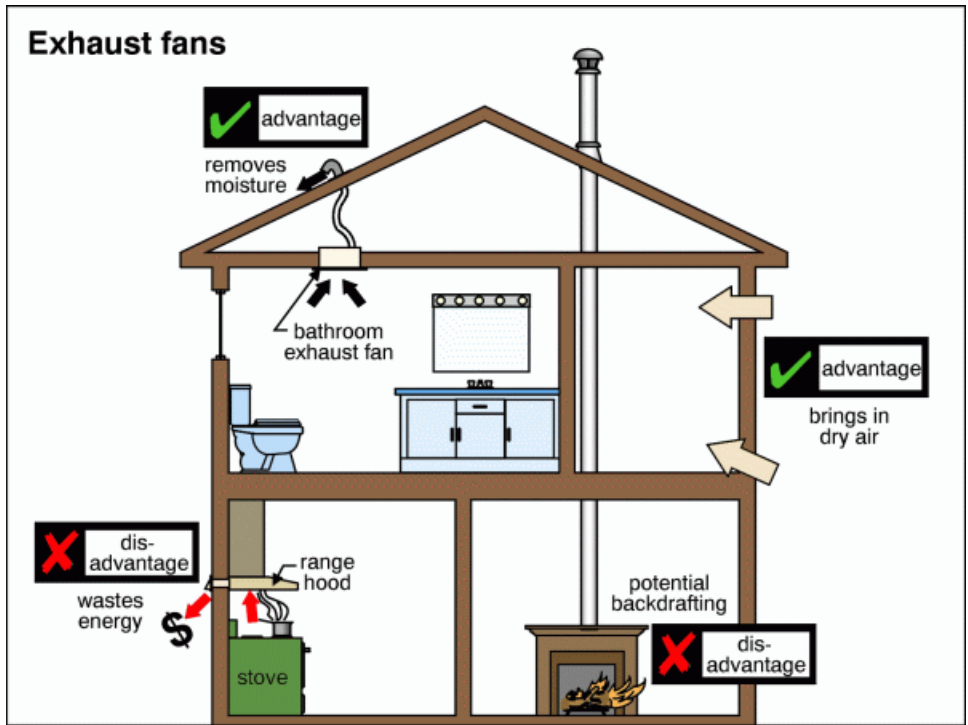
Loose

EXHAUST FANS \ General notes

39. Condition: • Missing

It is recommended to install an exhaust fan in the following kitchen.

Implication(s): Chance of condensation damage to finishes and/or structure



Unit 6

APPLIANCES \ Dryer

40. Condition: • Dryer vent obstructed

The exhaust port for the dryer vent is dirty. This should be cleaned out so that a proper seal is made when the unit is not in use, preventing cold air and weather from entering the structure.

It should be noted that a build up of lint can be a fire hazard.

Implication(s): Equipment ineffective | Fire hazard



Dryer vent obstructed

POTENTIALLY HAZARDOUS MATERIALS \ General notes

41. Condition: • Possible asbestos containing materials

It should be noted that structures built pre 1990 may contain asbestos in a variety of building materials such as flooring, drywall mud compounds, insulation, paints, stipple, stucco, HVAC duct wrap, and others. To determine if asbestos is present, analysis must be done by a certified laboratory. Typically these materials are not harmful if not disturbed. Simply applying tin tape over top will also prevent interaction with product.

Implication(s): Health hazard



Stucco



Possible asbestos ceiling board

COMMENTS \ Additional

42. Condition: • .

- The weather was appx. 20 degrees Celsius with clear skies. The time of the inspection was 0800 - 1300.

This home inspection is conducted following InterNACHI Standards of Practice.

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It is recommended to have all exterior door locks and codes changed, after the home is purchased.

It should be noted that structures built pre 1990 may contain asbestos in a variety of building materials such as flooring, drywall mud compounds, paints, stipple, stucco, HVAC duct wrap, and others. To determine if asbestos is present, analysis must be done by a certified laboratory.

END OF REPORT